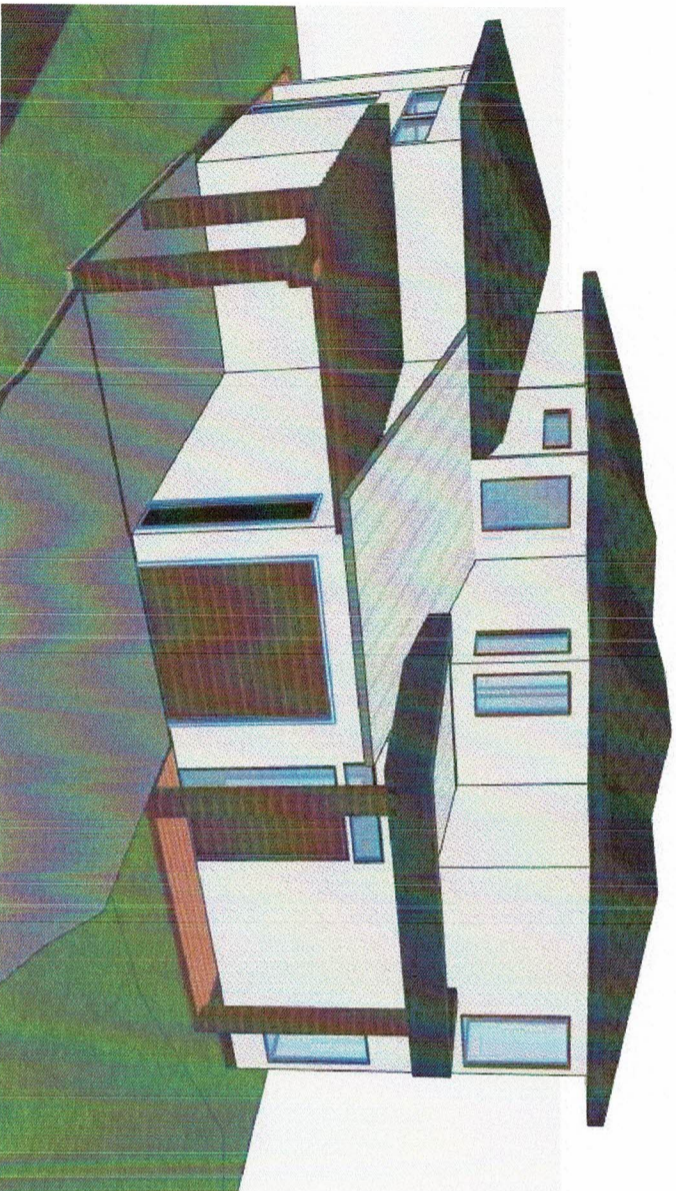


NEW CONSTRUCTION WITH ADDITION

1004 AUDREY CT  
AUSTIN, TX 78704

SF3-NP



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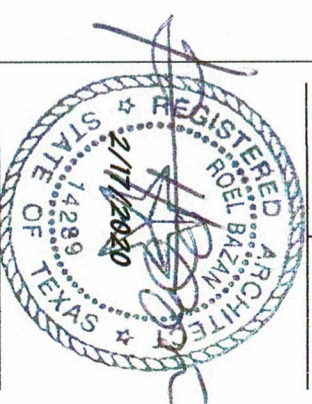


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Cover Sheet

SCALE  
1" = 1'-0", 1/8" = 1'-0"

G-001



**GENERAL NOTES:**

1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES. ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
4. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
5. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER WHETHER THE PROJECT IS EXECUTED OR NOT. THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.
6. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING AND/OR WATERPROOFING. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
7. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
8. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
9. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
10. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
11. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
12. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
13. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
14. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
15. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL CLEAN UP CONSTRUCTION AREAS AFFECTED BY DAILY WORK AND MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES. REMOVE MATERIALS TO APPROVED DUMP SITES ONLY.

**FLOOR PLAN NOTES:**

1. ALL WINDOWS WILL BE DIMENSIONED TO CENTER LINE UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. SPECS.
2. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
3. ALL HINGED SHOWER DOORS SHALL SWING OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHUBS/SHOWER ENCLOSURES AND BUILDING WALLS ENCLOSING THESE COMPARTMENTS SHALL BE FULLY TEMPERED OR LAMINATED SAFETY GLASS.
4. WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
5. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
6. PROVIDE ELECTRICAL FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.
7. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
8. WEATHERSTRIP ATTIC ACCESS DOOR(S).
9. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.
10. PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
11. ALL DOORS ON FIRST FLOOR TO BE 80" HT AND WINDOWS HEAD OPENINGS TO BE PLACED AT 8" HT. ALL DOORS ON SECOND FLOOR TO BE 8' HT AND WINDOWS HEAD OPENINGS TO BE PLACED AT 8" HT, UNLESS OTHERWISE NOTED.
12. ALL PLUMBING, APPLIANCE AND GAS VENTS TO VENT TO REAR OF ROOF RIDGE WHEREVER POSSIBLE. ALL VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
13. PROVIDE WEATHERSEAL AND A 9 1/2" MAX. ONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS, UNLESS NOTED OTHERWISE STANDARD PANTRY SHELVING TO BE AS FOLLOWS:
14. LOWEST 2 SHELVES TO BE 1 1/2" D. WITH HEIGHT SPACING OF 10" CLEAR REMAINING SHELVES TO BE 12" D. WITH HEIGHT SPACING OF 12" CLEAR.
15. ALL WALLS OVER 10'-0"-0" IN HEIGHT TO BE FRAMED WITH 2X6 STUDS. IF WALLS OVER 10'-0"-0" IN HEIGHT ARE NOT BUILT WITH 2X6 STUDS THEY MUST BE BUILT WITH DOUBLE 2X4 STUDS AT 12" O.C. THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
16. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
17. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
18. PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE TO CODE.
19. BUILDER TO VERIFY SIZING AND LOCATIONS OF ALL APPLIANCES TO INSURE PROPER SIZING OF APPLIANCE BLACKOUTS AND RELATED COMPONENTS.
20. BATHROOM ON 1ST FLOOR TO COMPLY WITH R320.3 VISIBLE BATHROOMS. A MIN. CLEAR OPENING OF 30" IS REQUIRED. LATERAL 2"x2" OR LARGER NOMINAL WOOD BLOCKING MUST BE INSTALLED FLUSH WITH STUD EDGES OF POWDER ROOM WALLS. AND THE CENTER LINE OF BLOCKING MUST BE 34" FROM AND PARALLEL TO THE INTERIOR FLOOR LEVEL, EXCEPT FOR THE PORTION OF THE WALL LOCATED DIRECTLY BEHIND THE LAVATORY.
21. BATHROOM ON 1ST FLOOR NEEDS TO BE ACCESSIBLE BY A ROUTE WITH A MIN. CLEAR OPENING OF 32" BEGINNING AT THE VISIBLE ENTRANCE.
22. GARAGE ENTRANCE TO COMPLY WITH R320.6 VISIBLE DWELLING ENTRANCE. NO STEP ENTRANCE WITH A BEVELED THRESHOLD OF 1/2" OR LESS AND A DOOR WITH A CLEAR WIDTH OF AT LEAST.
23. FIRST FLOOR TO OF A VISIBLE DWELLING MUST MEET THE FOLLOWING REQUIREMENT TO MEET R320.4 LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MUST BE NO HIGHER THAN 48" ABOVE THE INTERIOR FLOOR LEVEL. AND OUTLETS AND RECEPTACLES MUST BE OF 15" ABOVE THE INTERIOR FLOOR LEVEL.

**PLUMBING NOTES**

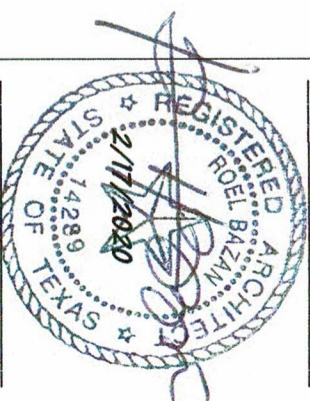
1. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXACT LOCATION OF PIPING, FITTINGS, OFFSETS, BENDS, DEVICES AND EQUIPMENT WITH EXISTING SITE CONDITIONS. THE BUILDING ELEMENTS AND THE WORK OF OTHER TRADES.
2. ALL WORK INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS AND ORDINANCES.
3. THE UNIFORM MECHANICAL, PLUMBING AND BUILDING CODES, THE WORK SHALL BE COMPLETE IN ALL RESPECTS AND IN ACCORDANCE WITH ACCEPTED AND ESTABLISHED CONSTRUCTION PRACTICES.
4. THE COLD AND HOT WATER PLUMBING SYSTEMS ARE NOT SHOWN ON THE DRAWINGS. WATER HEATER: NATURAL GAS WHOLE HOUSE TANK-LESS WATER HEATER. OUTDOOR INSTALLATION, VENT-LESS ENERGY EFFICIENT FREEZE PROTECTION TO FIVE DEGREES FAHRENHEIT, ELECTRONIC IGNITION, OPTIONAL REMOTE THERMOSTAT. ENDLESS HOT WATER SUPPLY FOR 2 MAJOR APPLICATIONS AT A TIME: MODEL: AQUASTAR 2400D NG BY BOSCH, OR AQUASTAR 2505XO NG OR APPROVED EQUAL OR RINNAL MODEL RESE (2532W) IF APPLICABLE.
5. WATER SYSTEM PIPING: PEX, CROSS-LINKED FLEXIBLE, POLYETHYLENE PLASTIC PIPING WITH HIGH TEMPERATURE POLYMER FITTINGS PROVIDE 1" THICK FOAM INSULATION AT ALL HOT WATER PIPING, AND 1/2" THICK AT ALL COLD WATER PIPING ABOVE THE SLAB, INCLUDING UNDER THE CONCRETE SLAB.
6. PROVIDE CONTINUOUS PLASTIC SHEATHING AT ALL WATER SYSTEM PIPING PLACED BENEATH THE SLAB. COLOR CODED TO PROTECT THE TUBING - NOT SHOWN IN THIS PLAN.
7. WATER SYSTEM PIPING SHALL BE INSTALLED UNDERNEATH THE VAPOR BARRIER MEMBRANE FOR THE CONCRETE SLAB. NO JOINTS IN THE PIPING OR TUBING BENEATH THE SLAB ARE PERMITTED.
8. WASTE WATER DRAIN AND VENT PIPING: PVC, SCHEDULE 40



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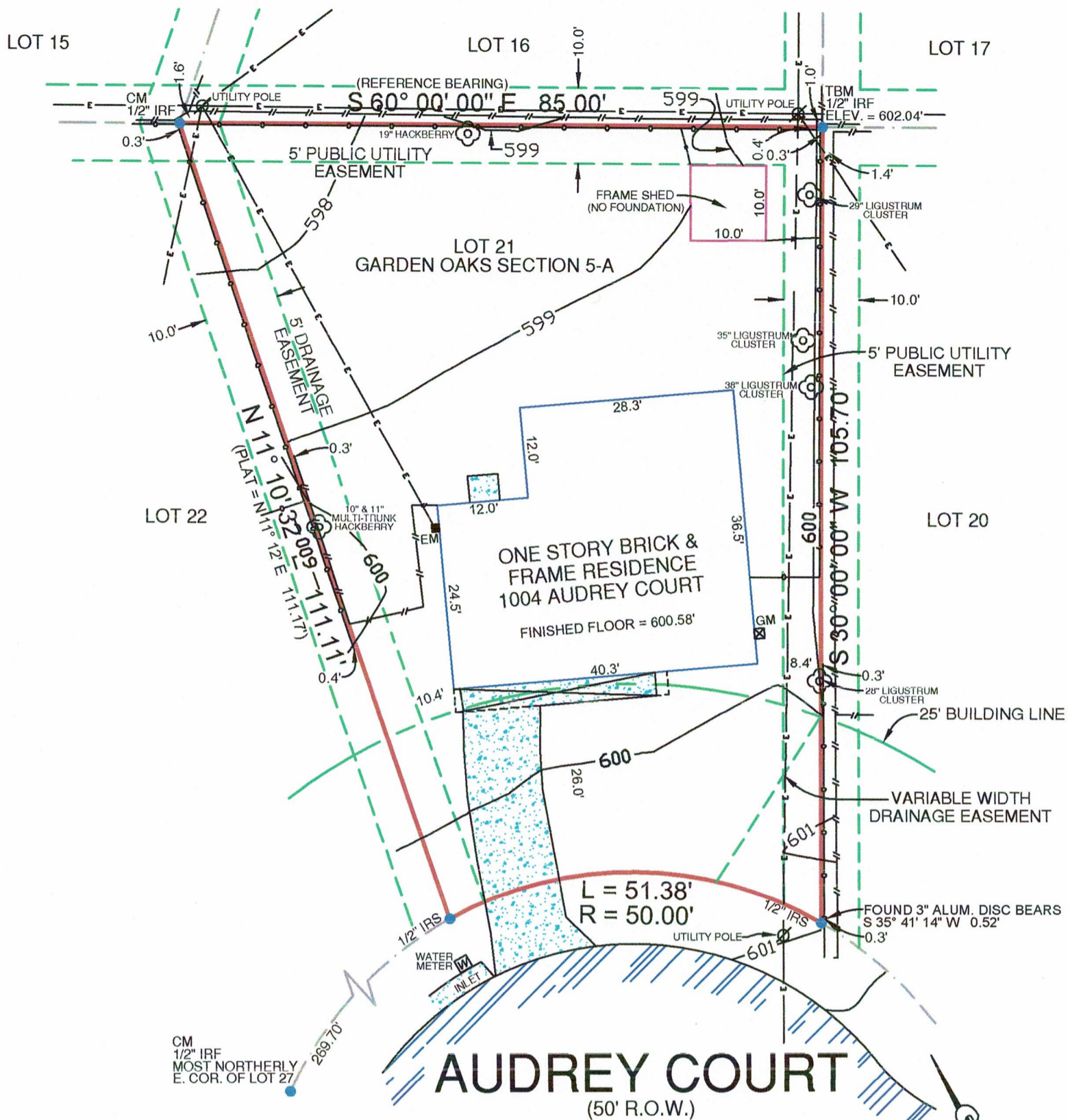


Notes & Legends

SCALE 1" = 1'-0"

G-002

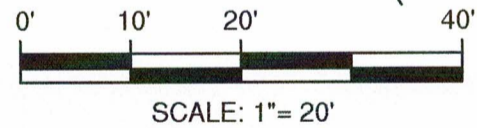




**LEGEND:**

—x—x—	BARBWIRE FENCE	ASPHALT	
—o—o—	CHAINLINK FENCE	CONCRETE	
—□—□—	WROUGHT IRON FENCE	GRAVEL	
—//—//—	WOOD FENCE	TILE	
—v—v—	VINYL FENCE	WOOD	
—E—E—	ELECTRIC LINE	BRICK	
GM	GAS METER	STONE	
EM	ELECTRIC METER		
IPF	IRON PIPE FOUND		
IRS	IRON ROD SET WITH "PREMIER" CAP		
IRF	IRON ROD FOUND		
CM	CONTROLLING MONUMENT (WOOD) RAILROAD TIE		

**NOTES:**  
 TBM = TEMPORARY BENCHMARK.  
 CONTOUR INTERVAL EQUALS ONE FOOT.  
 ELEVATIONS ARE BASED ON BENCHMARK  
 "G-19-1002" WITH AN ELEV. OF 693.09' (NAVD 1988).  
 BEARINGS ARE BASED ON THE RECORDED PLAT.  
 BUILDING LINES AND EASEMENTS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED.



**LEGAL DESCRIPTION:**  
 BEING LOT 21, GARDEN OAKS SECTION 5-A, AN ADDITION TO TRAVIS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 19, PAGE 46, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

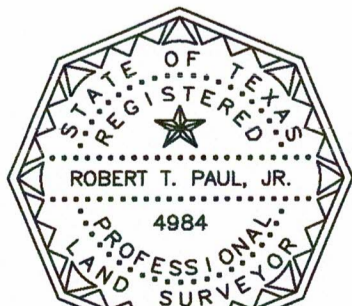
TECH	MSP
FIELD	MJ

**SURVEYOR'S CERTIFICATION:**  
 THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT PROVIDED BY A TITLE COMPANY. THERE MAY BE EASEMENTS AND OTHER MATTERS OF RECORD AFFECTING THE PROPERTY SHOWN HEREON THAT ONLY A PROPER TITLE SEARCH WOULD REVEAL. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

**FLOOD INFORMATION:**  
 THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48453C0585 H, DATED SEPTEMBER 26, 2008.

DATE: 01/03/20    JOB NO.: 19-08427TOPOTS  
 FIELD: 12/30/19    REV.: 01/14/20

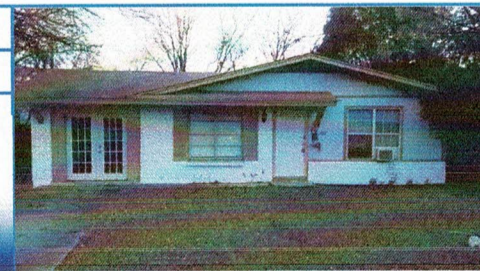
1004 AUDREY COURT, AUSTIN, TX 78704  
 LOT 21, GARDEN OAKS SECTION 5-A



*Robert T. Paul, Jr.*  
 Registered Professional Land Surveyor

**Premier Surveying LLC**  
 5700 W. Plano Parkway  
 Suite 1200  
 Plano, Texas 75093  
 972-612-3601 (O) | 855-892-0468 (F)  
 www.premiersurveying.com  
 premierorders@premiersurveying.com

DATE: \_\_\_\_\_  
 ACCEPTED BY: \_\_\_\_\_



**Premier Surveying LLC**  
 5700 W. Plano Parkway  
 Suite 1200  
 Plano, Texas 75093  
 Office: 972-612-3601  
 Fax: 855-892-0468  
 Firm Registration No. 10146200

G-003

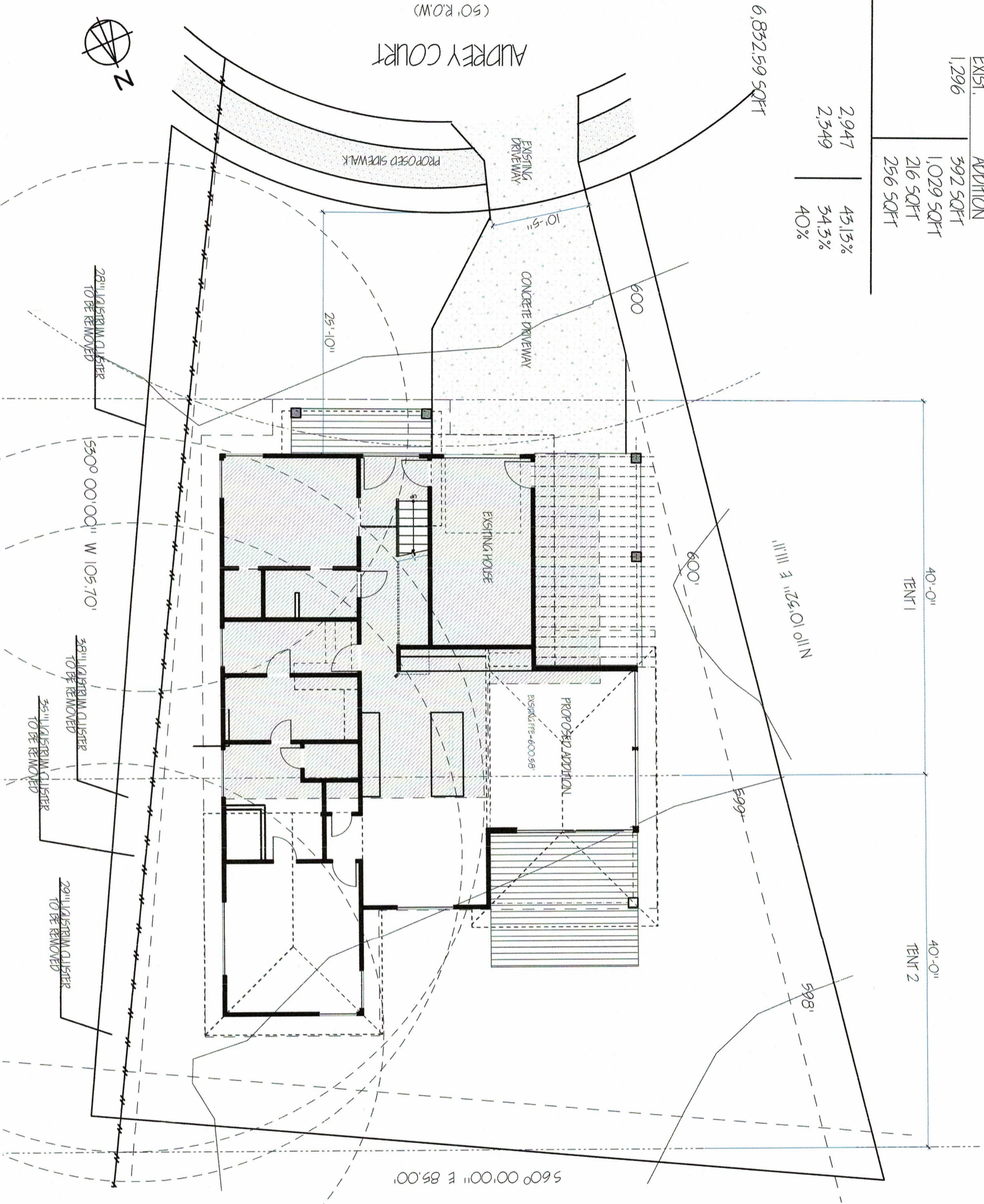


CALCULATIONS

EXIST.	ADDITION
1st FLOOR PLAN 1,296	392 SQFT
2ND FLOOR PLAN GARAGE CARPORT	1,029 SQFT 216 SQFT 256 SQFT

IMPERVIOUS COVER. BUILDING COVERAGE FAR	2,947 2,349	43.13% 34.3% 40%
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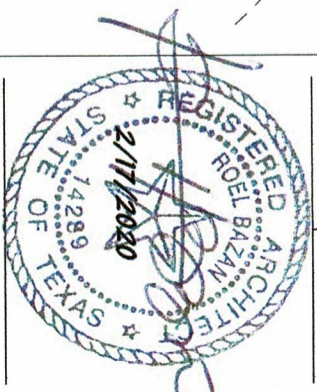
LOT SIZE 6,832.59 SQFT



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Architectural Site Plan

SCALE  
3/32" = 1'-0"

AS-001





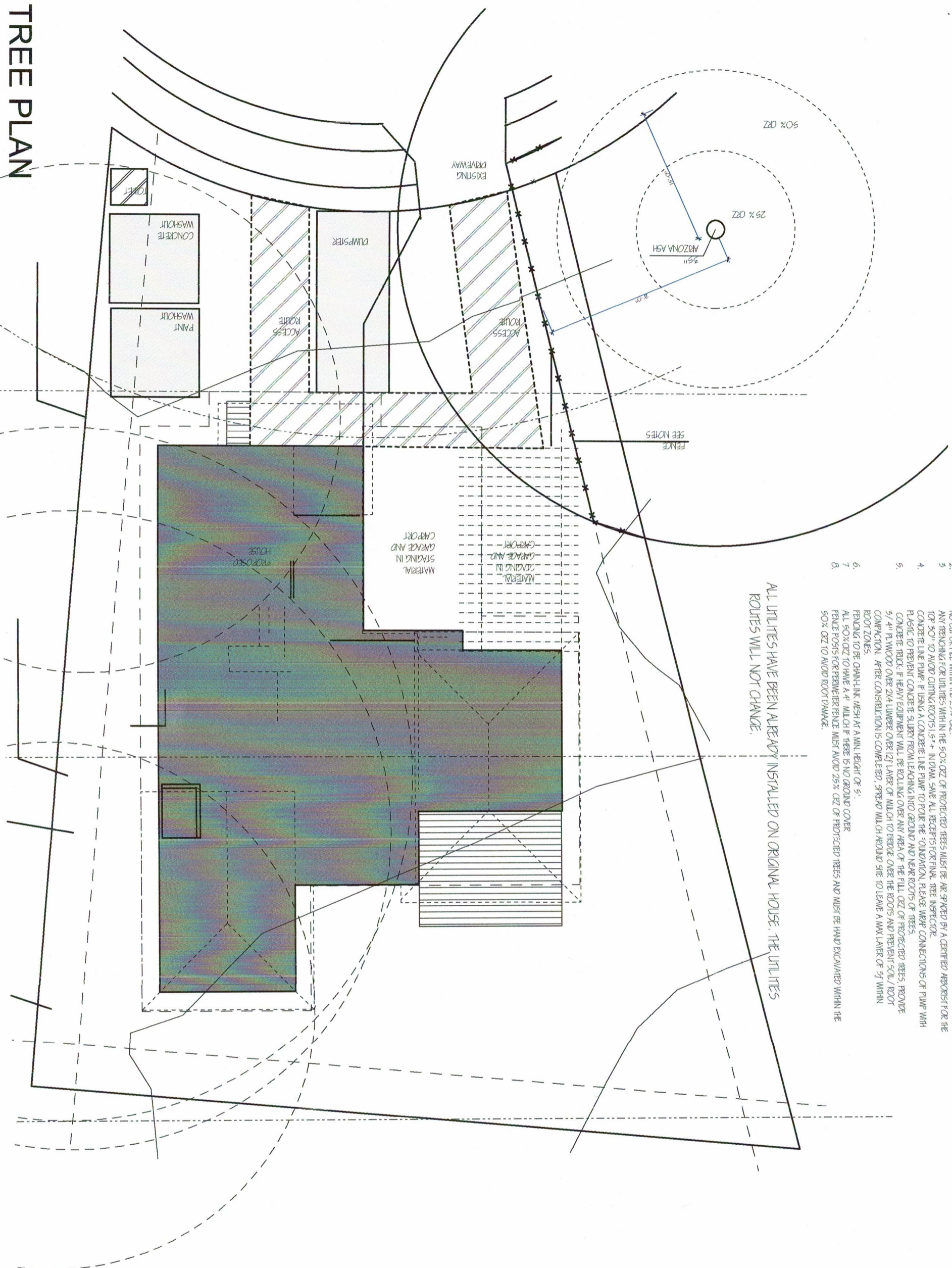
Tree Plan

SCALE  
3/32" = 1'-0"

AS-002

- NOTES
1. NO CUT OR FILL GREATER THAN 4" WILL BE LOCATED CLOSER TO THE TREE TRUNK 5' THAN THE 50% GZ RADIUS DISTANCE.
  2. NO CUT OR FILL WITHIN THE 25% GZ.
  3. ANY RENOVATING FOR UTILITIES WITHIN THE 50% GZ OF PROTECTED TREES MUST BE AIR SPACED BY A CERTIFIED ARBORIST FOR THE TOP 50' TO AVOID CLIPPING ROOTS 1.5" + IN DIAM. SAVE ALL RECEIPTS FOR FINAL TREE INSPECTOR.
  4. CONCRETE LINE PUMP: IF USING A CONCRETE LINE PUMP TO POUR THE FOUNDATION PLEASE MAKE CONNECTIONS OF PUMP WITH PLASTIC TO PREVENT CONCRETE SLURRY FROM LEACHING INTO GROUND AND NEAR ROOTS OF TREES.
  5. CONCRETE TRUCK: IF HEAVY EQUIPMENT WILL BE ROLLING OVER ANY AREA OF THE FULL GZ OF PROTECTED TREES, PROVIDE 5/4" PLWOOD OVER 2X4 LUMBER OVER 12" LAYER OF MILL CH TO BRIDGE OVER THE ROOTS AND PREVENT SOIL / ROOT COMPACTION. AFTER CONSTRUCTION IS COMPLETED, SPREAD MILL CH AROUND SITE TO LEAVE A MAX LAYER OF 3" WITHIN ROOT ZONES.
  6. FENCING TO BE CHAIN-LINK MESH AT A MIN. HEIGHT OF 5'.
  7. ALL 50% GZ TO HAVE A 4" MIL CH IF THERE IS NO GROUND COVER.
  8. FENCE POSIS FOR PERIMETER FENCE MUST AVOID 25% GZ OF PROTECTED TREES AND MUST BE HAND EXCAVATED WITHIN THE 50% GZ TO AVOID ROOT DAMAGE.

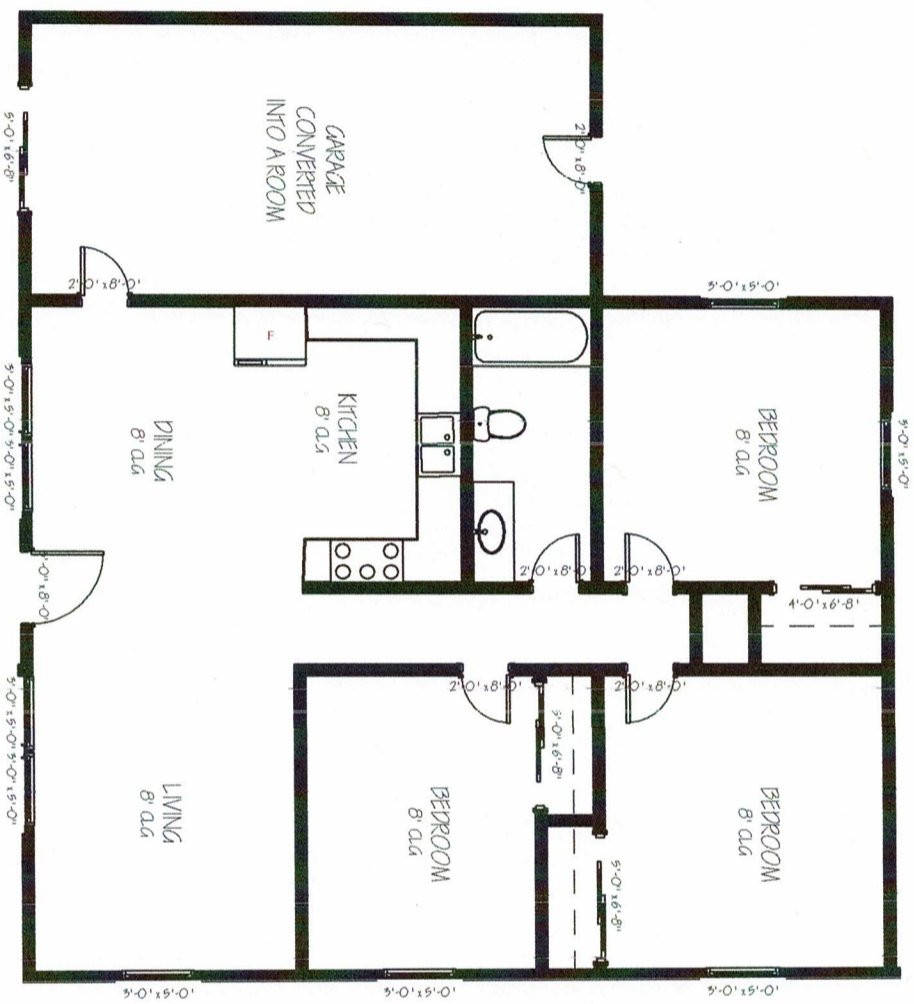
ALL UTILITIES HAVE BEEN ALREADY INSTALLED ON ORIGINAL HOUSE. THE UTILITIES ROUTES WILL NOT CHANGE.



TREE PLAN

SCALE: 3/32" = 1'-0"





**EXISTING FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

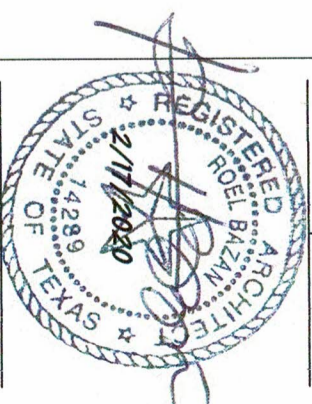


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First Floor Existing Plan

SCALE

1/8" = 1'-0"

**A-101**





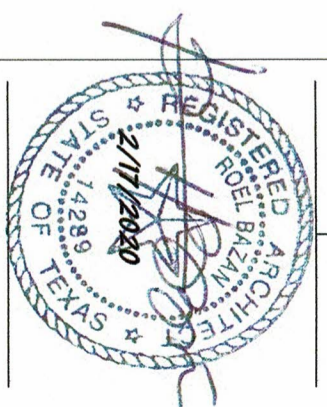




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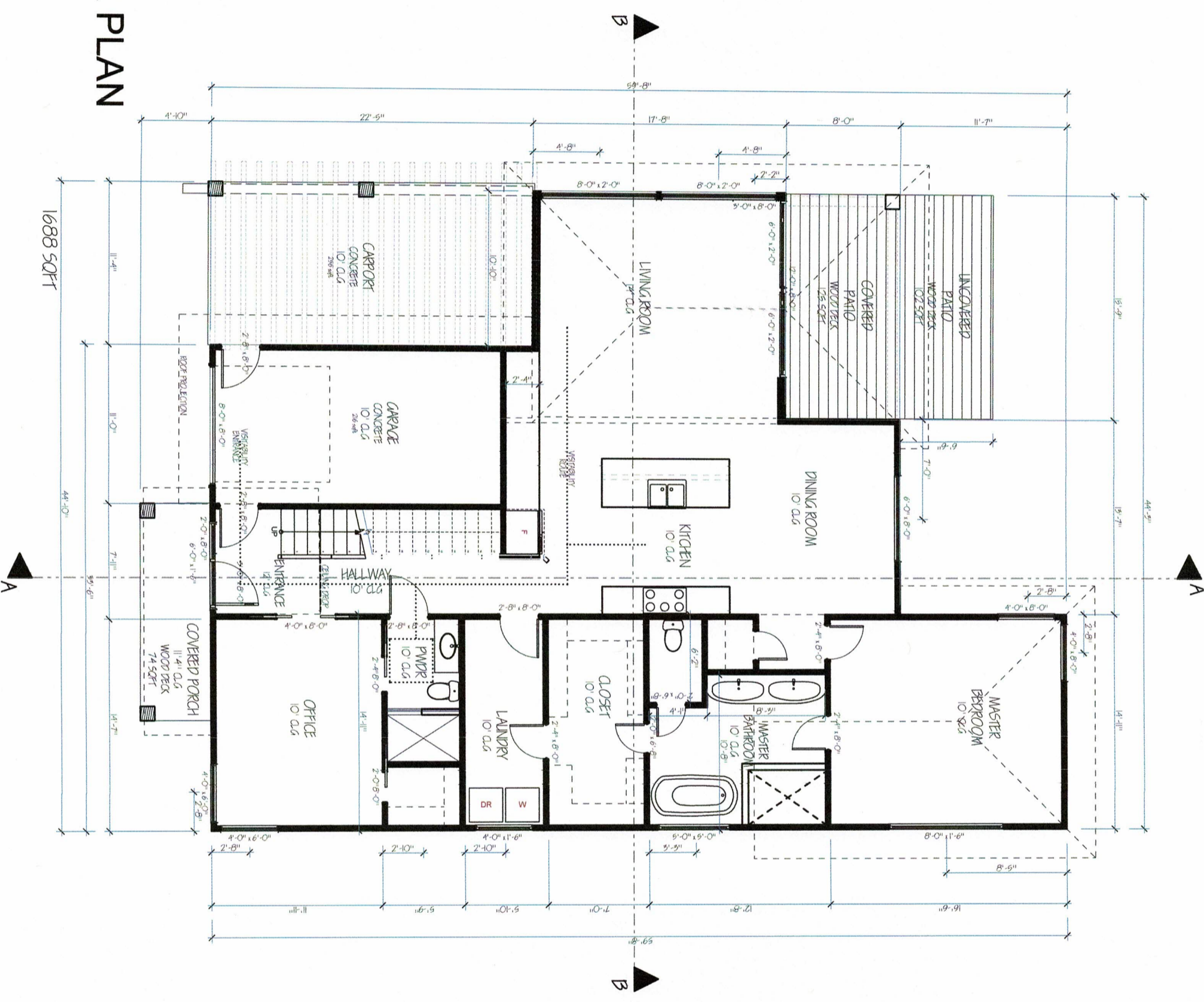
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First Floor Plan

SCALE  
1/8" = 1'-0"

A-103



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

1688 SQFT





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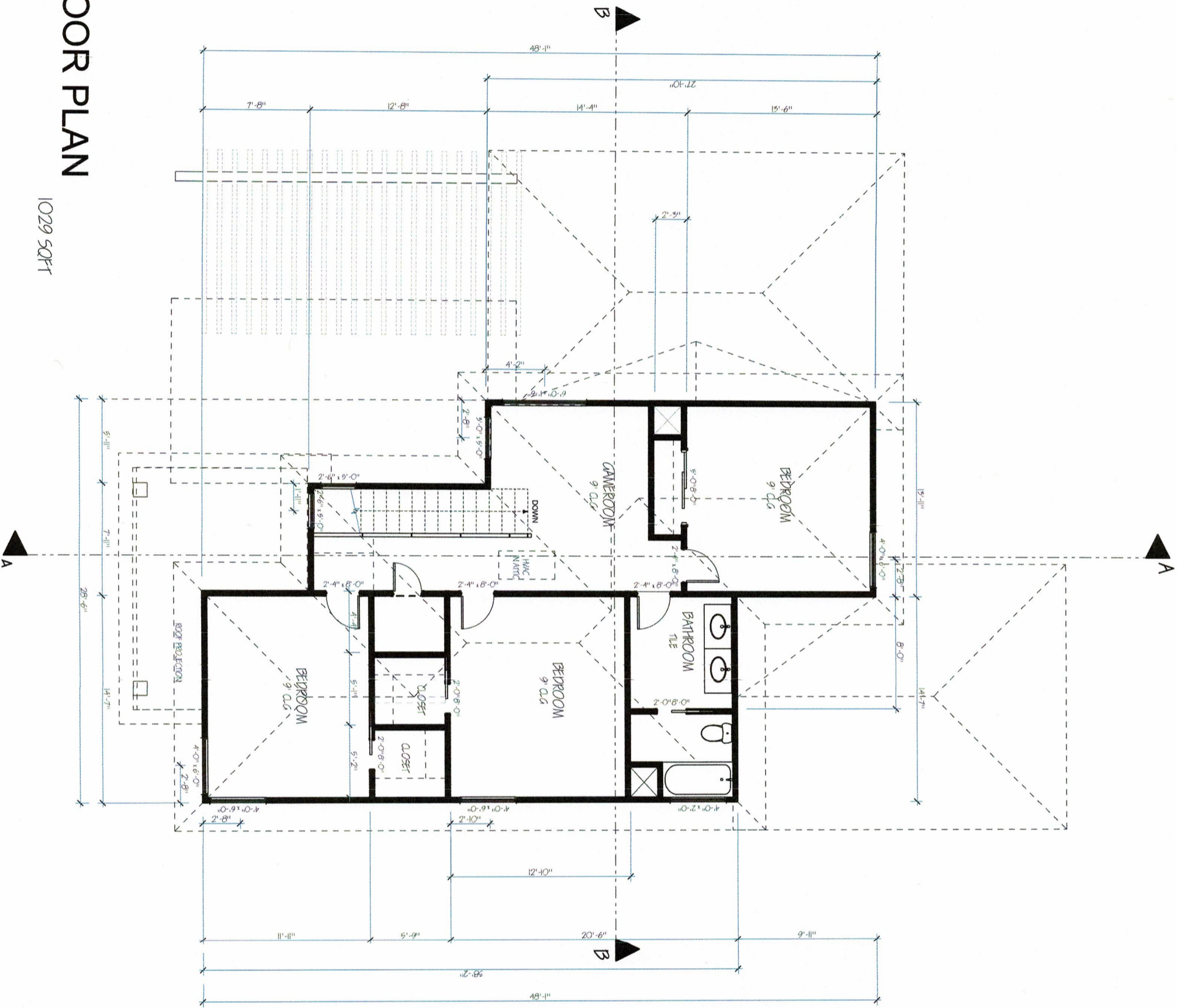
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Second Floor Plan

SCALE  
1/8" = 1'-0"

A-104

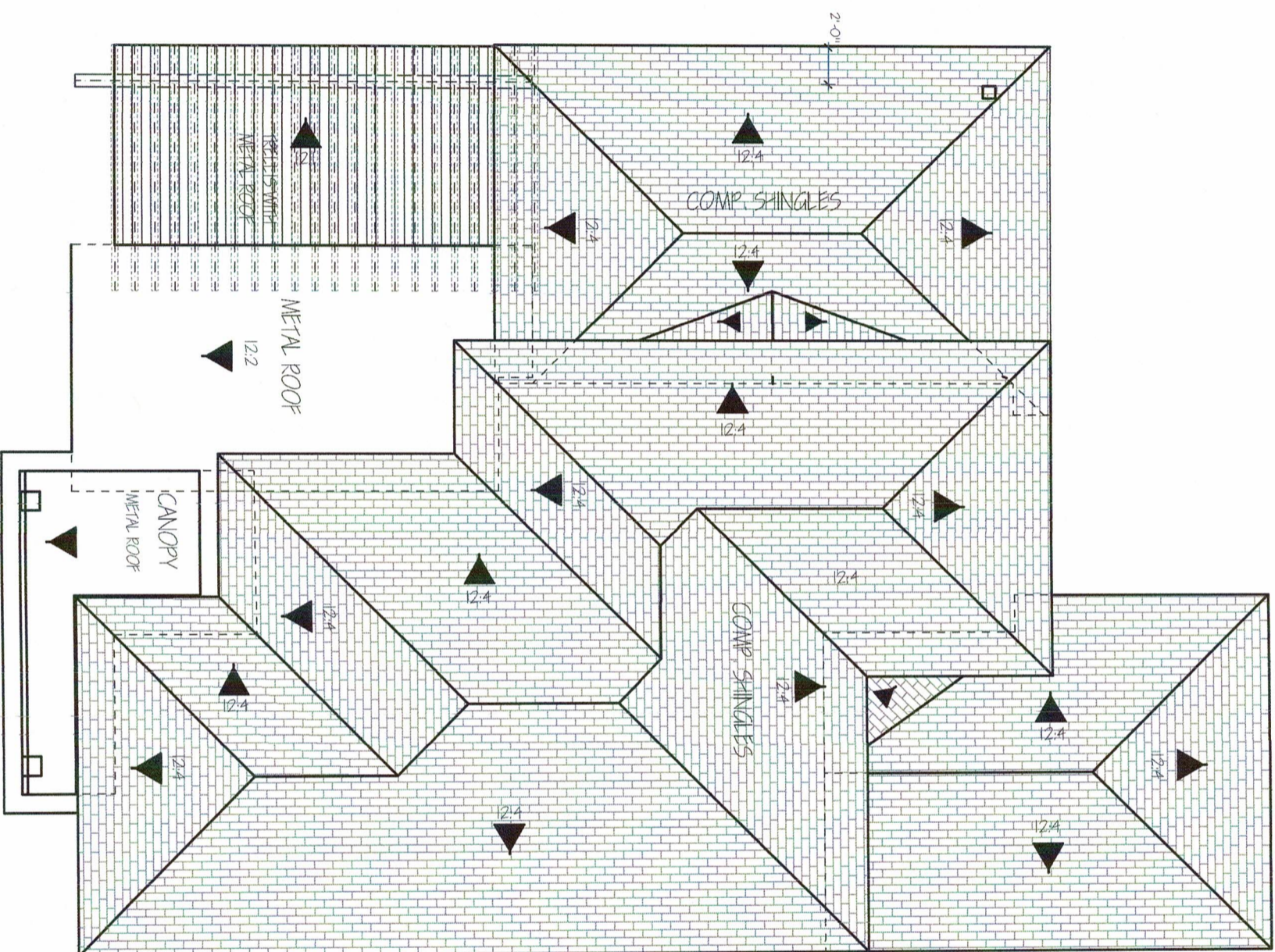


SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

1029 SQFT





# ROOF PLAN

SCALE: 1/8" = 1'-0"

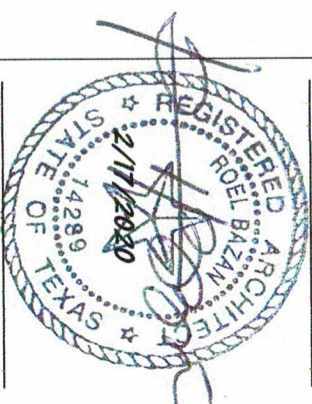


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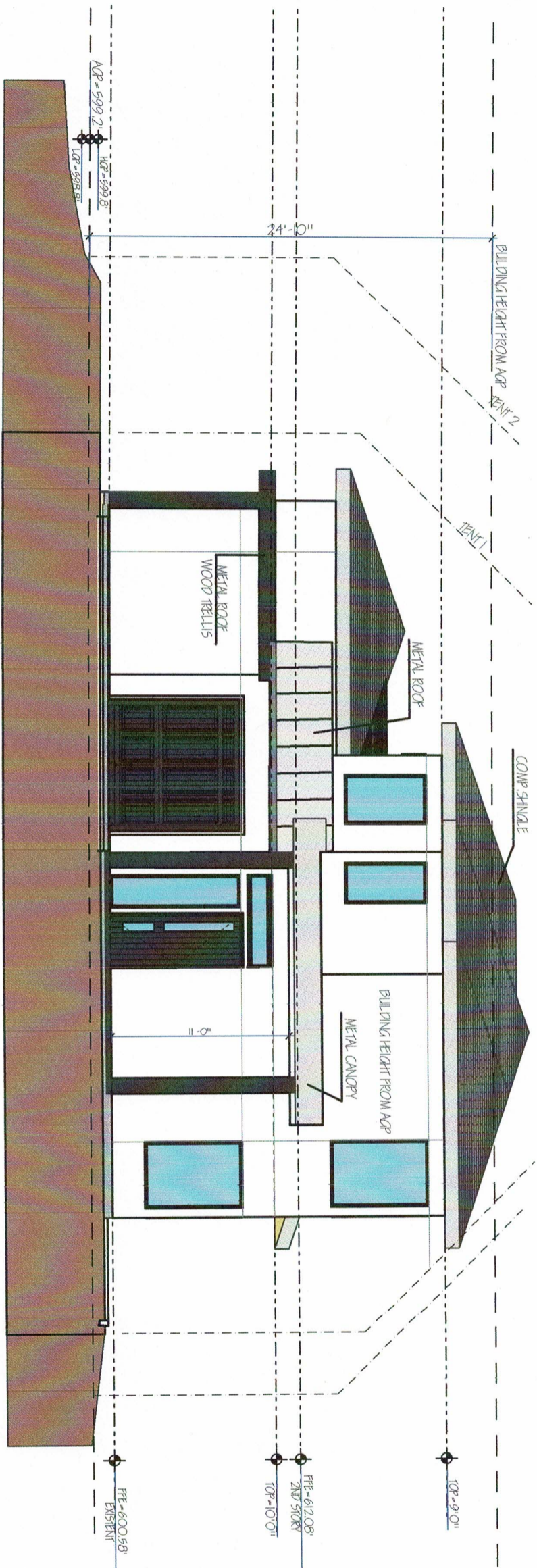
Roof Plan

SCALE

1/8" = 1'-0"

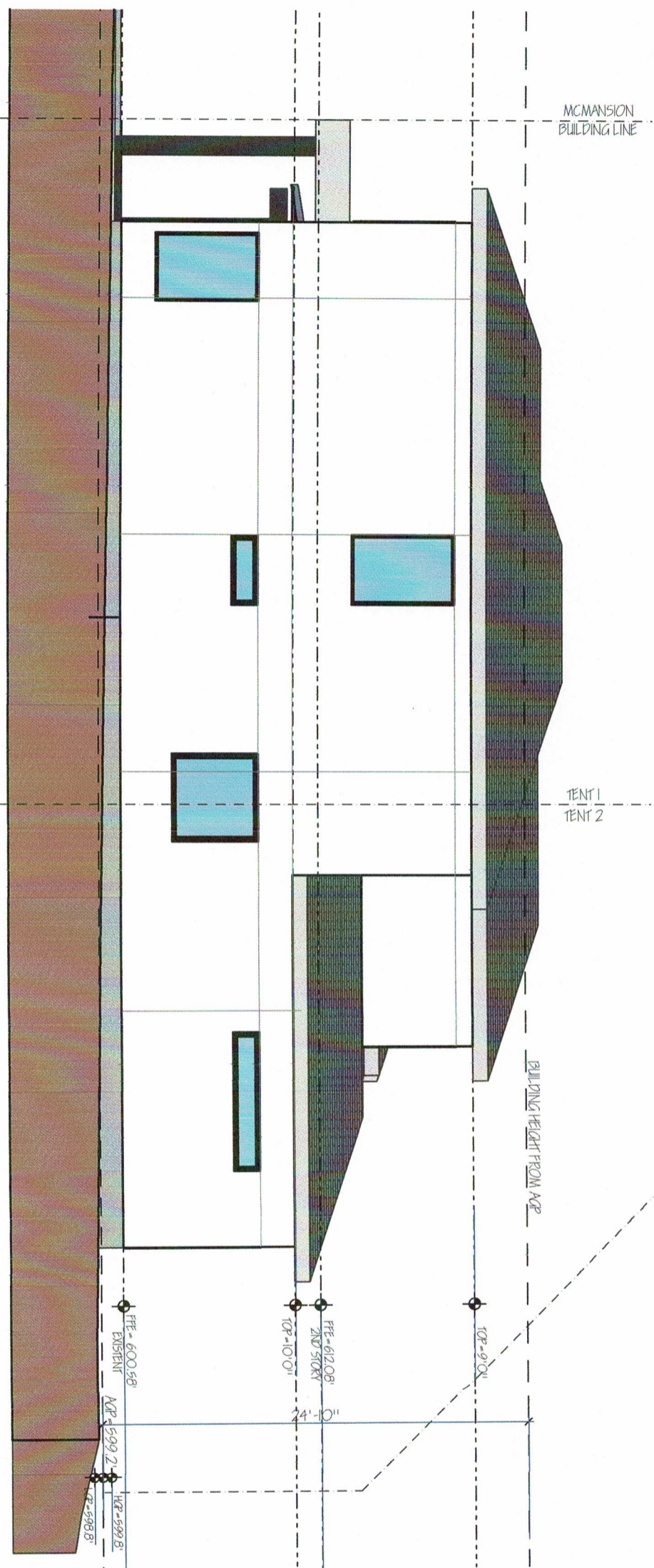
A-105





# SOUTHWEST ELEVATION

SCALE: 1/8" = 1'-0"



# SOUTHEAST ELEVATION

SCALE: 1/8" = 1'-0"

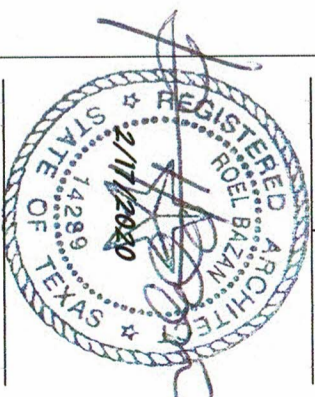


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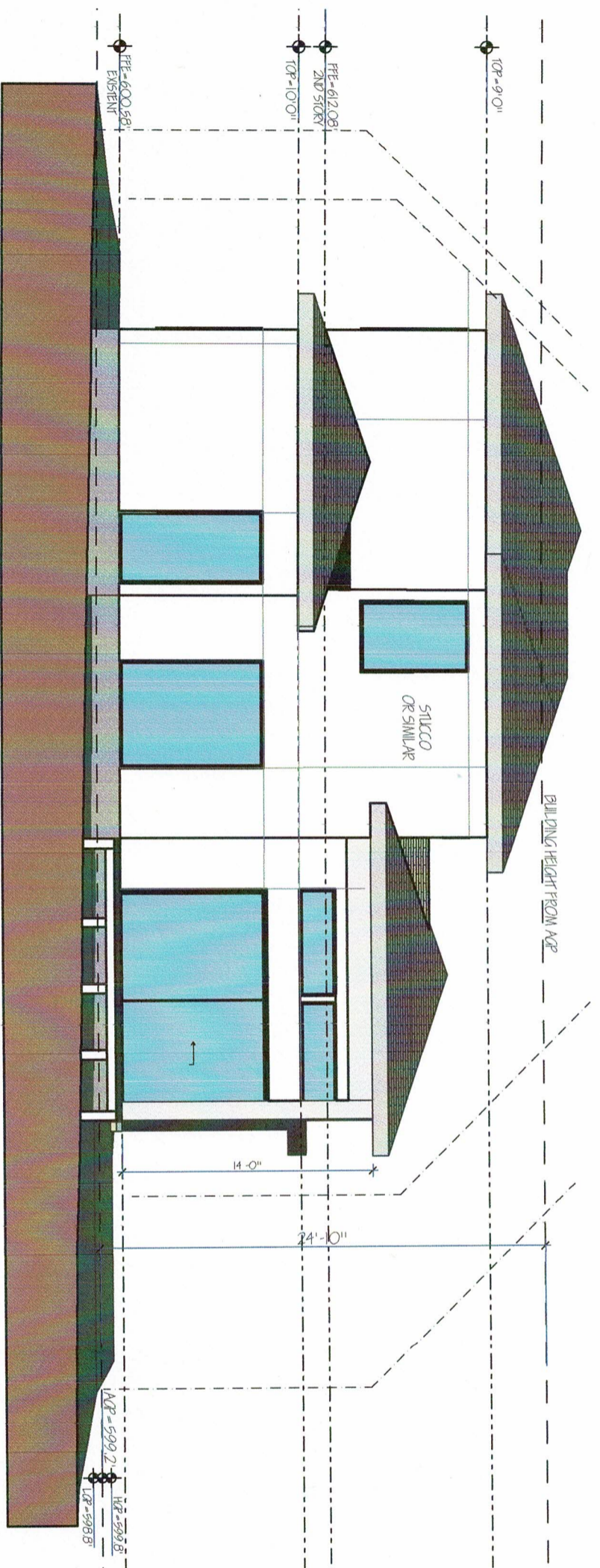


Exterior Elevations

SCALE  
1/8" = 1'-0"

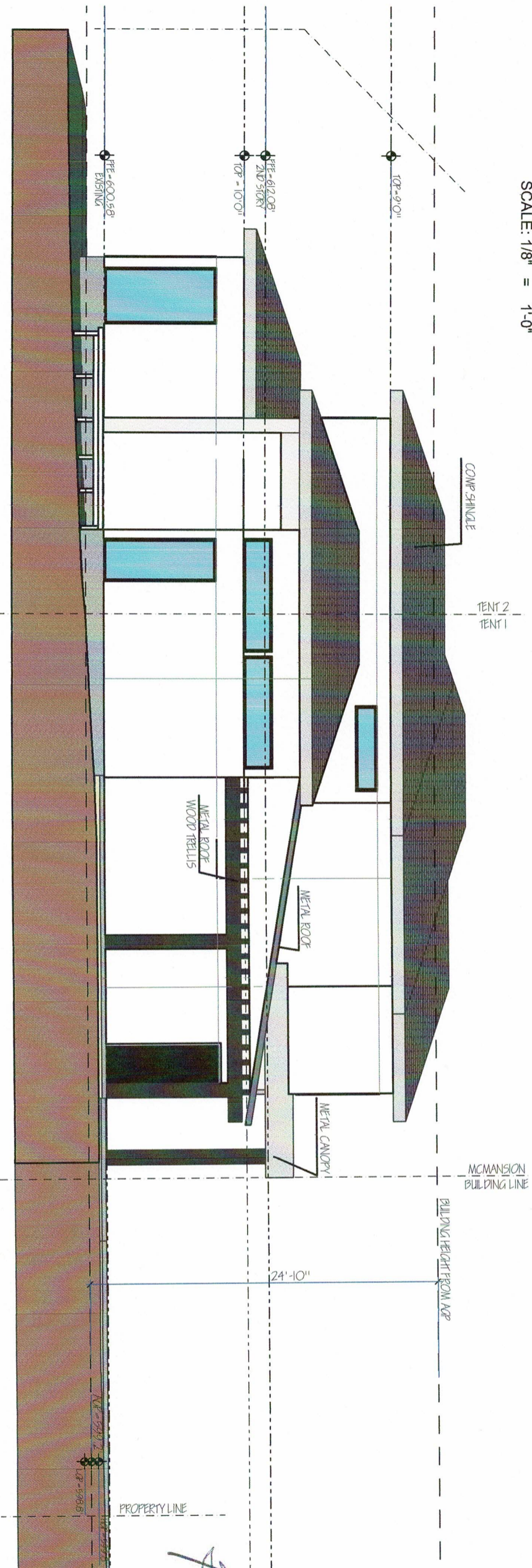
A-201





NORTHEAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION

SCALE: 1/8" = 1'-0"

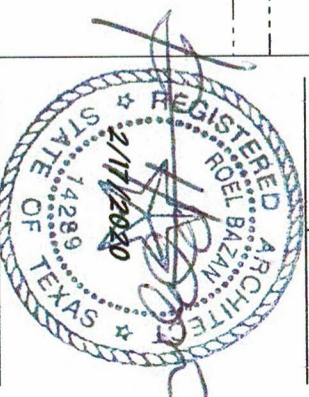


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NEW CONSTRUCTION W/ ADDITION

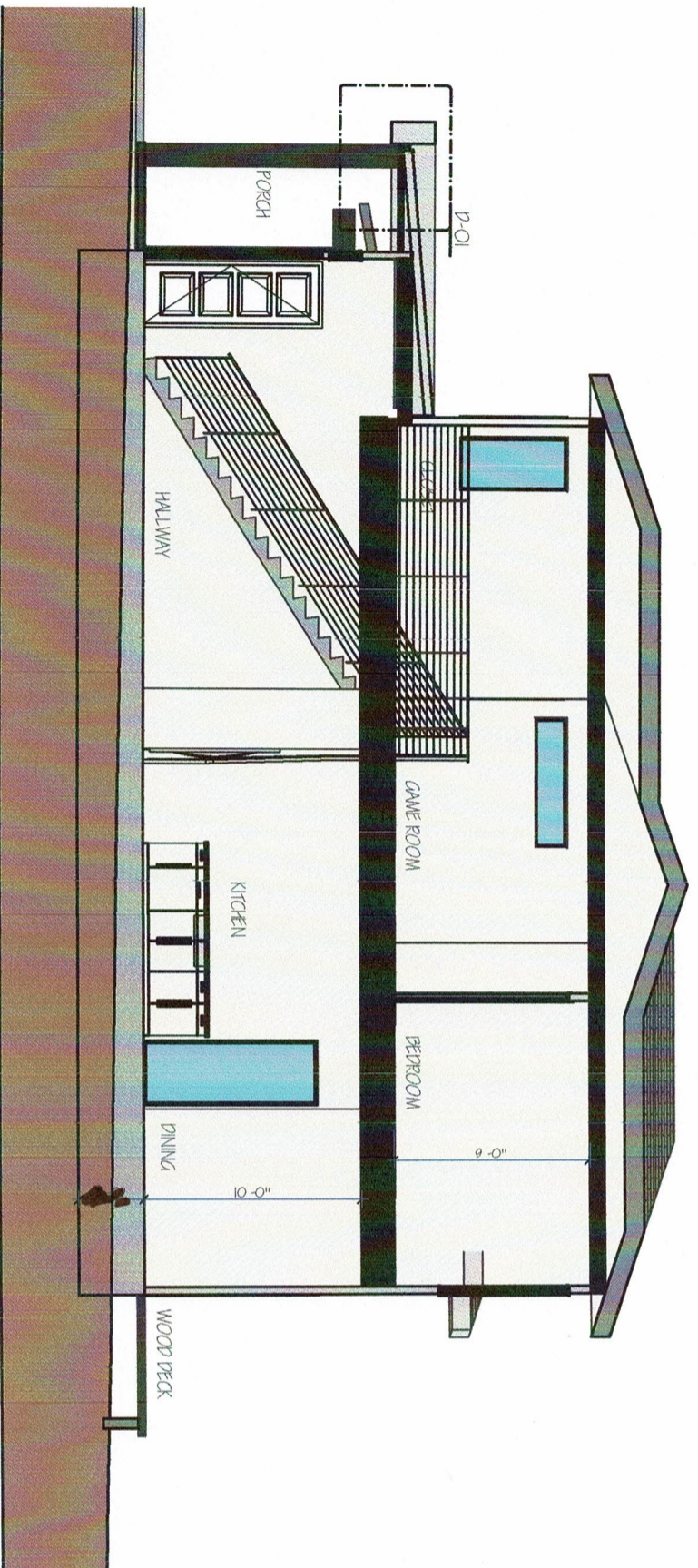


Exterior Elevations

SCALE  
1/8" = 1'-0"

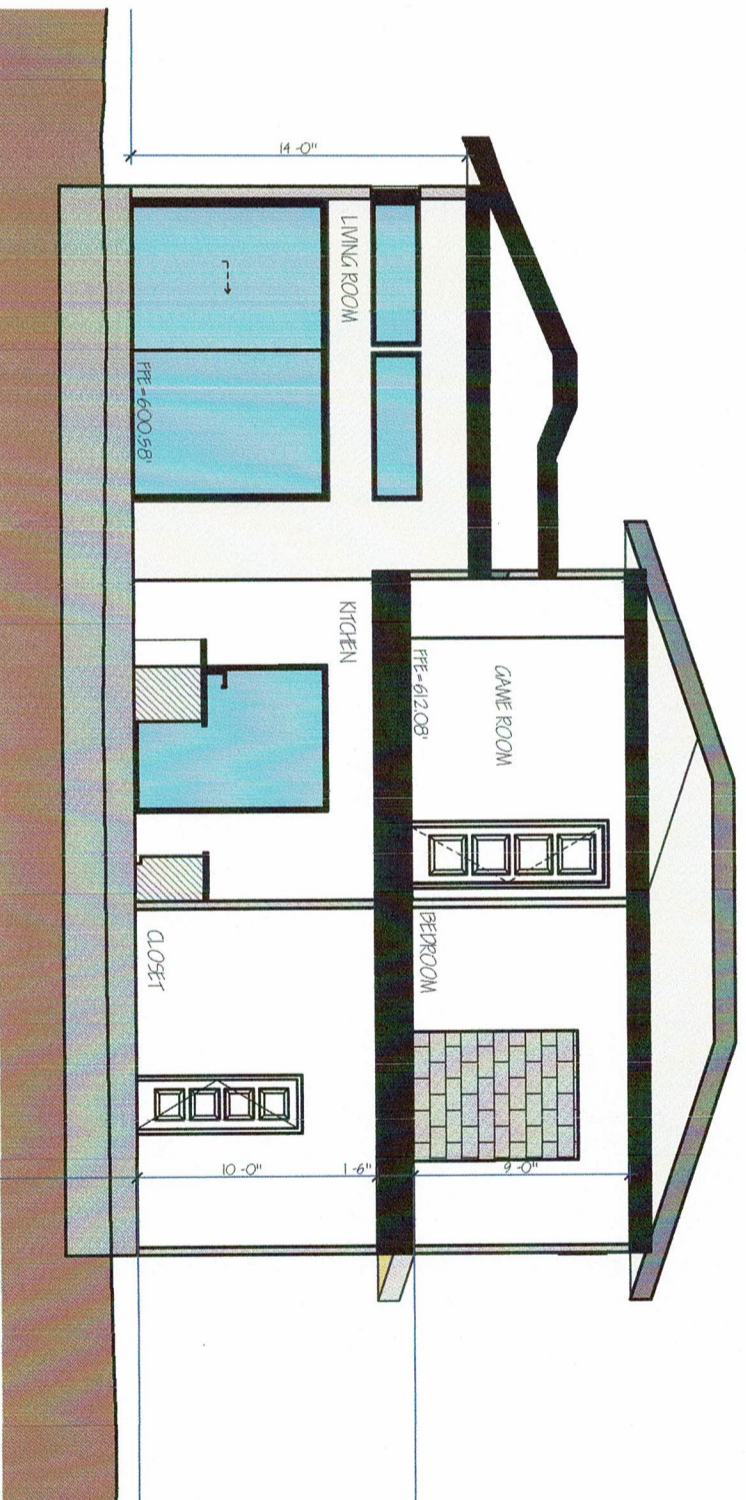
A-202





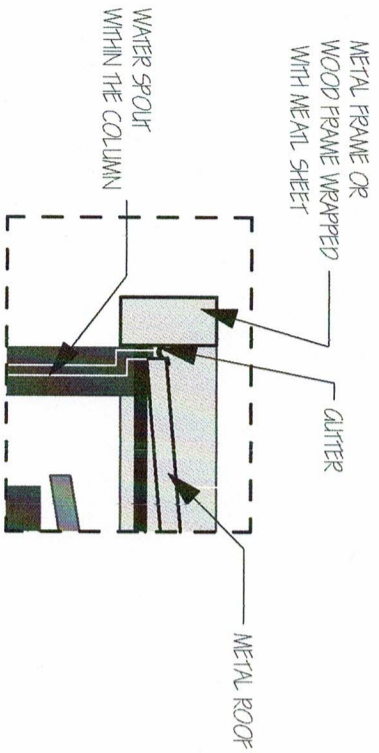
**SECTION A**

SCALE: 1/8" = 1'-0"



**SECTION B**

SCALE: 1/8" = 1'-0"



**DETAIL**

SCALE: 1/4" = 1'-0"

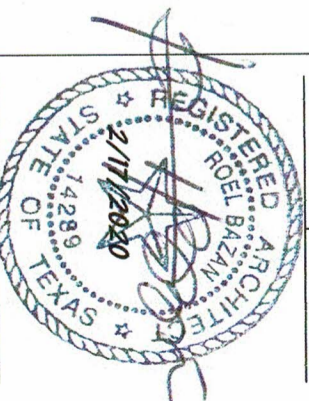


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1004 AUDREY CT  
AUSTIN - TX 78704

SINGLE FAMILY  
NEW CONSTRUCTION W/ ADDITION



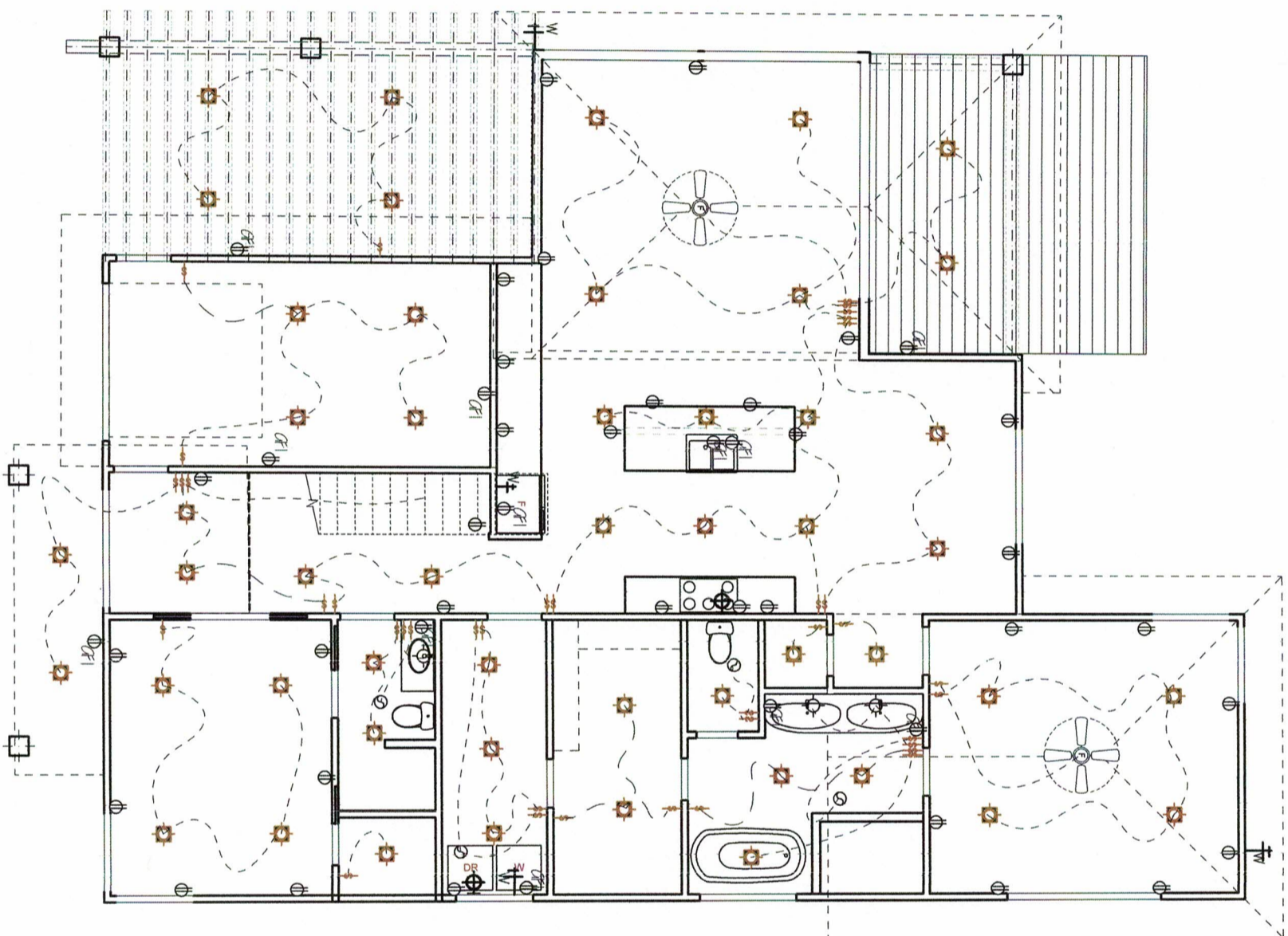
Building Sections

SCALE  
1/8" = 1'-0" 1/4" = 1'-0"

A-301



- GENERAL NOTES:
1. LAYOUT SHOWN IS SCHEMATIC ONLY. ELECTRICAL CONTRACTOR SHALL DESIGN AND FURNISH ELECTRICAL SYSTEM IN CONFORMANCE WITH ALL APPLICABLE CODES.
  2. COORDINATE WITH HVAC INSTALLER TO PROVIDE POWER FOR ALL MECHANICAL UNITS.
  3. PROVIDE NEW DISTRIBUTION PANELS AS REQUIRED. COORDINATE LOCATION WITH BUILDING DESIGNER.
  4. COORDINATE WITH PLUMBING CONTRACTOR TO PROVIDE POWER FOR TANK-LESS WATER HEATER WITH ELECTRIC IGNITION CONTROL, GARBAGE DISPOSAL, EJECTOR OR GRINDER PUMPS AND OTHER EQUIPMENT WHERE INDICATED OR NOTED.
  5. VERIFY POWER REQUIREMENTS FOR APPLIANCES WITH ARCHITECT / GENERAL CONTRACTOR
  6. PROVIDE LIGHT AT HVAC UNITS IN ATTIC.
  7. CENTER LIGHTS ON LAVATORIES, WHERE SHOWN. MASTER BATHROOM, CENTER LIGHT BETWEEN LAVATORIES AND ONE ON EACH SIDE, AS SHOWN.
  8. BUILDING SERVICE TO ELECTRICAL PANELS SHALL BE OVERHEAD.
  9. CONDUCTORS: COPPER, ROMEX, INSULATED UL APPROVED, PER COA CODE AND NEC.
  10. PANELS, SWITCHGEARS: MAIN DISTRIBUTION PANELS SHALL BE EQUIPPED WITH APPROPRIATE NUMBER AND SIZE OF CIRCUIT BREAKER / PROVIDE MIN. OF FOUR SPARES, BLANK WITHOUT CIRCUIT BREAKERS.
  11. PROVIDE DIRECTORY IDENTIFYING ALL CIRCUITS AND ROOM NAMES FOR COMPLETED ELECTRICAL SYSTEM, MOUNTED ON SIDE FRONT CORNER OF PANEL.
  12. FIELD VERIFY AND COORDINATE WITH DESIGNER REGARDING MOUNTING HEIGHTS AND LOCATIONS AND FINISH THICKNESS FOR OUTLET BOXES AT KITCHEN AND BATHROOM CABINETS AND COUNTERTOPS, BACK SPLASHES AND OTHER SPECIAL CONDITIONS.
  13. INSTALL SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE INTERIOR FLOOR LEVEL. ALL THE OUTLETS AND RECEPTACLES MUST BE A MIN. OF 15" ABOVE THE INTERIOR FLOOR LEVEL.



# FIRST FLOOR PLAN



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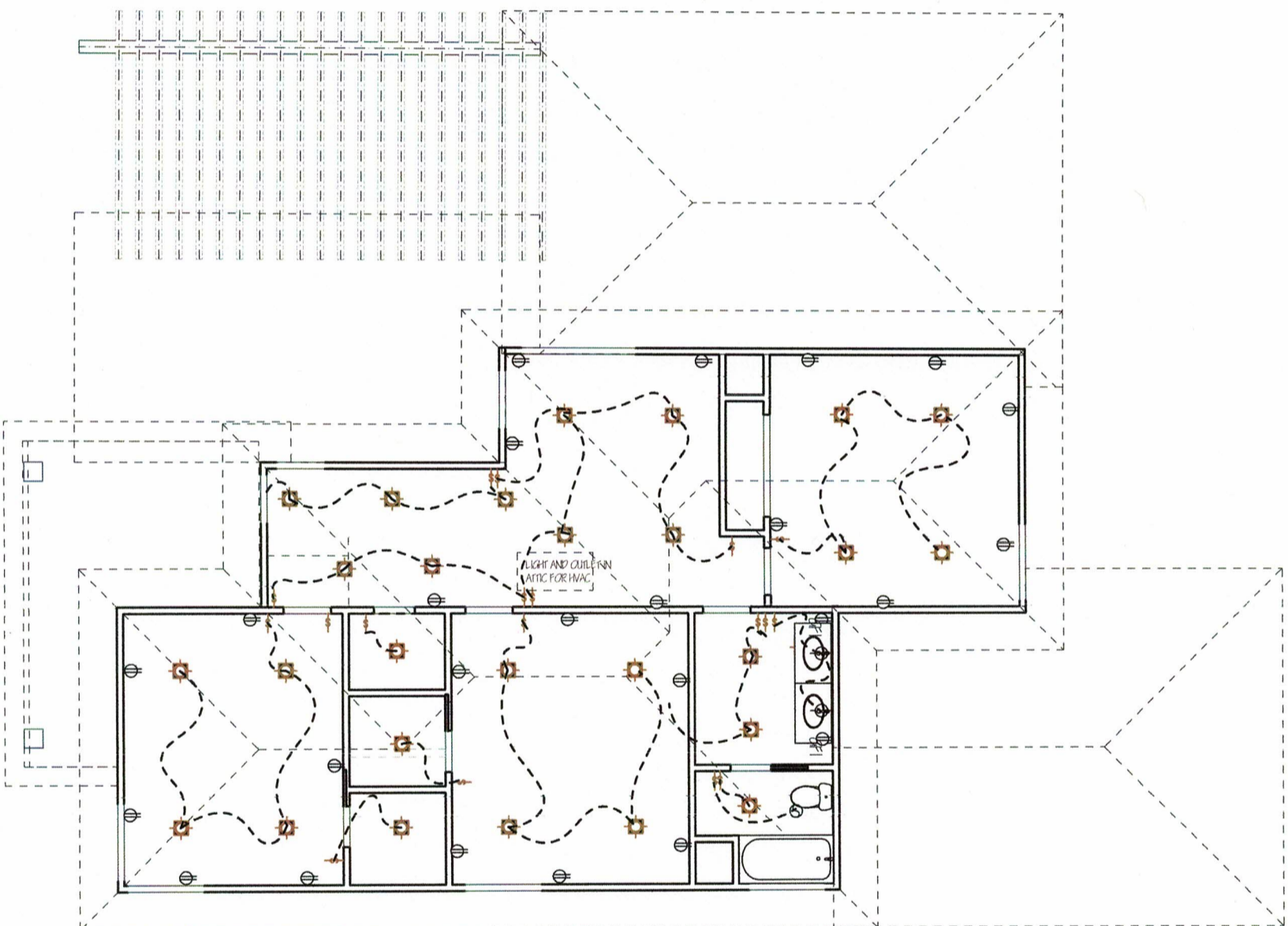


First Floor

SCALE  
1/8" = 1'-0"



- GENERAL NOTES:
1. LAYOUT SHOWN IS SCHEMATIC ONLY. ELECTRICAL CONTRACTOR SHALL DESIGN AND FURNISH ELECTRICAL SYSTEM IN CONFORMANCE WITH ALL APPLICABLE CODES.
  2. COORDINATE WITH HVAC INSTALLER TO PROVIDE POWER FOR ALL MECHANICAL UNITS.
  3. PROVIDE NEW DISTRIBUTION PANELS AS REQUIRED. COORDINATE LOCATION WITH BUILDING DESIGNER.
  4. COORDINATE WITH PLUMBING CONTRACTOR TO PROVIDE POWER FOR TANK-LESS WATER HEATER WITH ELECTRIC IGNITION CONTROLS, GARBAGE DISPOSAL, EJECTOR OR GRINDER PUMPS AND OTHER EQUIPMENT WHERE INDICATED OR NOTED.
  5. VERIFY POWER REQUIREMENTS FOR APPLIANCES WITH ARCHITECT / GENERAL CONTRACTOR
  6. PROVIDE LIGHT AT HVAC UNITS IN ATTIC.
  7. CENTER LIGHTS ON LAVATORIES, WHERE SHOWN. MASTER BATHROOM: CENTER LIGHT BETWEEN LAVATORIES AND ONE ON EACH SIDE, AS SHOWN.
  8. BUILDING SERVICE TO ELECTRICAL PANELS SHALL BE OVERHEAD.
  9. CONDUCTORS: COPPER, ROMEX, INSULATED LL APPROVED, PER COA CODE AND NEC.
  10. PANELS, SWITCHGEARS: MAIN DISTRIBUTION PANELS SHALL BE EQUIPPED WITH APPROPRIATE NUMBER AND SIZE OF CIRCUIT BREAKER/ PROVIDE MIN. OF FOUR SPARES, BLANK WITHOUT CIRCUIT BREAKERS.
  11. PROVIDE DIRECTORY IDENTIFYING ALL CIRCUITS AND ROOM NAMES FOR COMPLETED ELECTRICAL SYSTEM, MOUNTED ON SIDE FRONT CORNER OF PANEL.
  12. FIELD VERIFY AND COORDINATE WITH DESIGNER REGARDING MOUNTING HEIGHTS AND LOCATIONS AND FINISH THICKNESS FOR OUTLET BOXES AT KITCHEN AND BATHROOM CABINETS AND COUNTERTOPS, BACK SPLASHES AND OTHER SPECIAL CONDITIONS.
  13. INSTALL SWITCHES AND ENVIRONMENTAL CONTROLS NO HIGHER THAN 48" ABOVE INTERIOR FLOOR LEVEL. ALL THE OUTLETS AND RECEPTACLES MUST BE A MIN. OF 15" ABOVE THE INTERIOR FLOOR LEVEL.

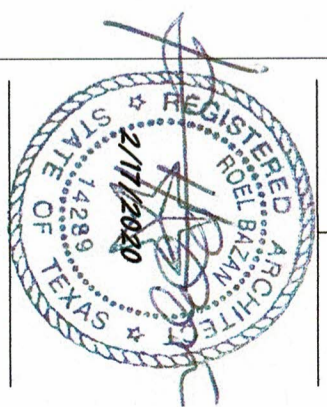


**SECOND FLOOR PLAN**



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SINGLE FAMILY  
NEW CONSTRUCTION W/ ADDITION



Second Floor

SCALE  
1/8" = 1'-0"

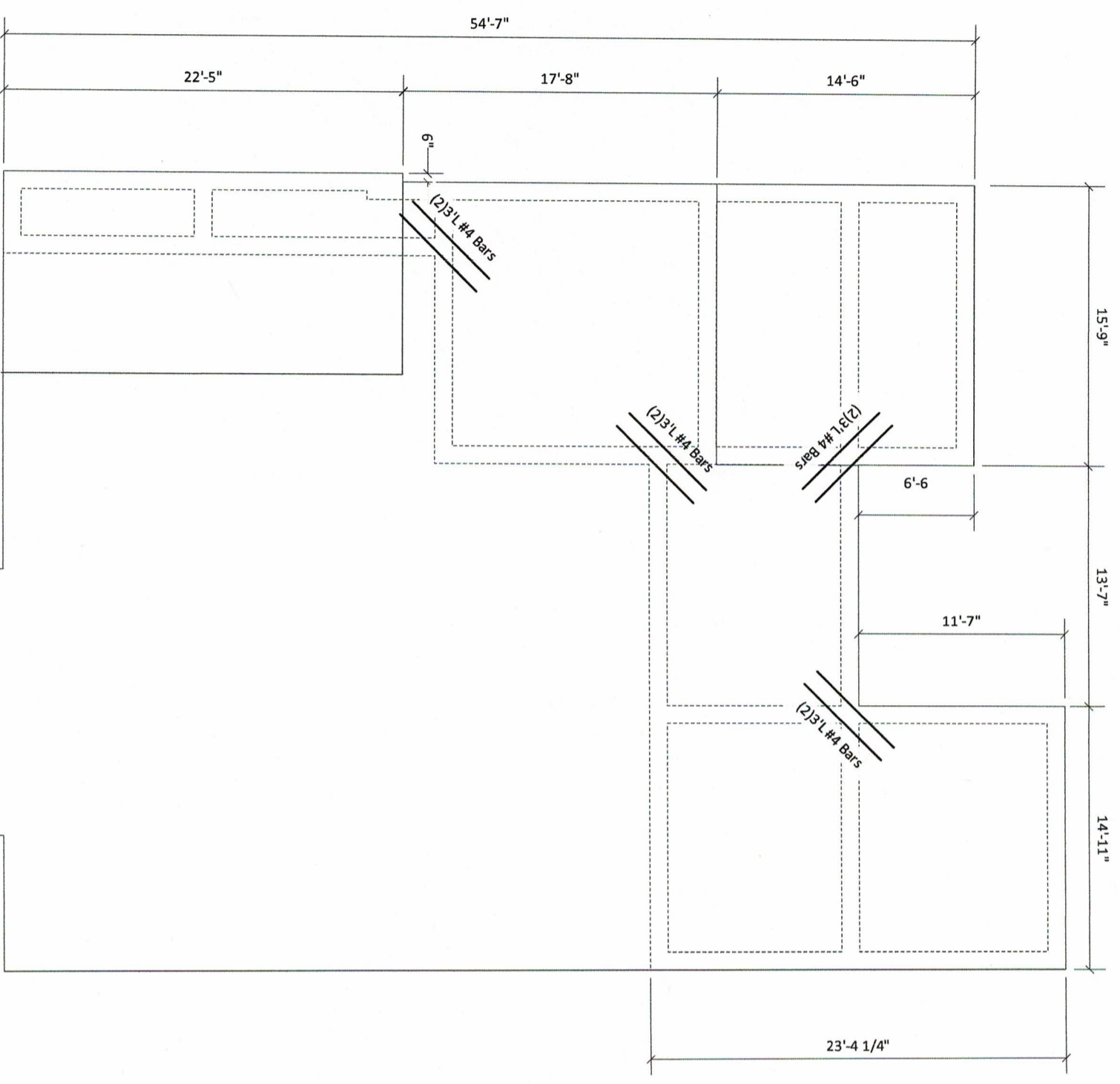


Concrete Notes and Specifications

Soils Report not provided by Owner or Contractor  
 Soil Type: Silty Sand/Clayey Sand/Clayey Gravel (GC, SC)  
 Assumed Subgrade Modulus (k) = 2000 PCF  
 Assumed Soil Bearing Capacity = 4000 PSF  
 Assumed BRAB Equivalent P1 = Less Than 14

Shape Factor =  $\text{Perimeter}^2 / \text{Area} = 293.2^2 / 196.0 = 71.9 > 24$ . Stiffener beam spacing maximum of 15".

1. All concrete construction shall meet the requirements of the American Concrete Institute (ACI) building code requirements for reinforced concrete (ACI 318-05).
2. All organics must be removed and soil must be compacted to 95% compaction with heavy equipment in maximum of 12" lifts with water added between lifts. All fill to be select fill with no organic or day content.
3. Reinforcing bars shall be grade 60 deformed bars and meet the requirements of ASTM A615. Splice laps, hooks and bends should meet the schedules on this sheet. Concrete cover shall be a minimum of 1 1/2" for #4 and smaller bars and a minimum of 2" for #5 and larger bars. All reinforcing bars to be placed in middle of concrete thickness unless otherwise specified.
4. Piers (if required) require the use of continuous rebar without splices.
5. All reinforcement bars should be spaced off of soil with permanent plastic chairs or concrete blocks. Rebar shall not be permitted to come in contact with soil.
6. Contractor shall verify finishes prior to placing concrete. All inside finishes are to be hard troweled. Exterior finishes shall have a light broom finish.
7. Concrete for all floor slabs shall have a compressive strength of 3500 PSI and shall have a slump no greater than 5" (4" target slump).
8. All interior concrete which may be subject to tile or other flooring must have 10 mil poly applied to compacted soil prior to the installation of reinforcement steel and concrete.
9. Unless noted other wise all exterior grade beams to have bottom of concrete 12" below finished exterior grade and all other exterior concrete to have bottom of concrete a minimum of 2" below finished exterior grade.
10. 1/2" by 8" L bolts to be placed with top of bolt 2 1/2" above concrete and located 6" O.C. and no closer than 3.5" and no further than 12" from the end of each sole plate board.
11. Any exterior grade beams that are more than 2' above grade to be constructed per detail 14/S-106.
12. See concrete details on S-106 for typical concrete reinforcement and finish details.



Existing slab to be checked for a minimum thickness of 10". If not found, remove 3'X3' section and replace with 10" thick 3500 psi concrete with (5)#5 bars E.W. on 1 1/2" chairs or bricks. Embed bars 6" into existing slab on perimeter with anchor or rebar epoxy.



Existing slab to be checked for a minimum thickness of 8". If not found, remove 18"X18" section and replace with 8" thick 3500 psi concrete with (3)#4 bars E.W. on 1 1/2" chairs or bricks. Embed bars 6" into existing slab on perimeter with anchor or rebar epoxy.



REV. A	Revised per new layout.	DATE	04/16/20	S.L.M.
DESCRIPTION	Lake Travis Engineering and Inspection LLC TBPE Firm No. 10248 / 512 633 7097			
SCALE	1/8" = 1'-0"	DWG. NO.	S-105	REV.
DATE	04/16/20	SCALE	1/8" = 1'-0"	SHEET
1004 Audrey Foundation Plan			1 OF 1	